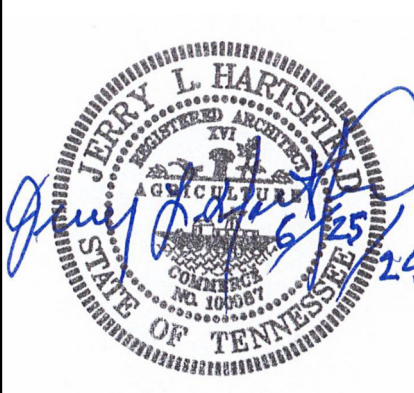


NO.	DATE	BY	DESCRIPTION
1	6/25/24		PER ADDRESS CHANGE

CONSULTANT



TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS
WWW.TLMAE.COM
117 EAST LAFAYETTE STREET JACKSON, TENNESSEE
731.988.9840 (PHONE) - 731.988.9959 (FAX)

COVER SHEET
WAYNE COUNTY HEALTH DEPARTMENT
FOR
SITE / INTERIOR RENOVATION
WAYNE COUNTY
Waynesboro, Tennessee

DATE: MAY 30, 2024
JOB NO: J-7076
SHEET NO: CS.1

WAYNE COUNTY HEALTH DEPARTMENT

SITE / INTERIOR RENOVATION

FOR

WAYNE COUNTY

Waynesboro, Tennessee

Site Address
WAYNE COUNTY HEALTH DEPARTMENT
725 S MAIN STREET
WAYNESBORO, TENNESSEE 38485

Drawing Sheet List

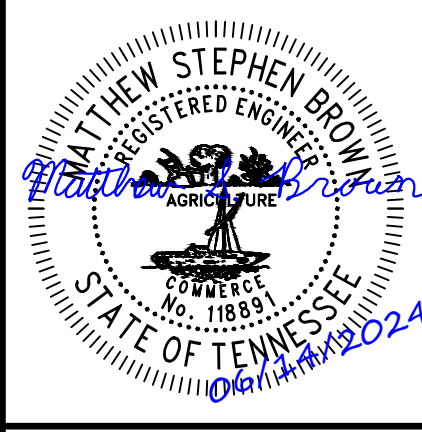
TLM Associates, Inc. GENERAL / CIVIL				TLM Associates, Inc. ARCHITECTURAL				TLM Associates, Inc. STRUCTURAL				JM2 Associates MECHANICAL				JM2 Associates PLUMBING / FIRE PROTECTION				JM2 Associates ELECTRICAL			
SHT#	REV	REV DATE	SHEET TITLE	SHT#	REV	REV DATE	SHEET TITLE	SHT#	REV	REV DATE	SHEET TITLE	SHT#	REV	REV DATE	SHEET TITLE	SHT#	REV	REV DATE	SHEET TITLE	SHT#	REV	REV DATE	SHEET TITLE
CS.1	1	6/25/24	COVER SHEET	A1.0	1	6/25/24	FLOOR PLAN - EXISTING	STRUCTURAL			NOT IN SCOPE OF WORK FOR THIS PROJECT	M0.1			HVAC SCHEDULES AND NOTES	P1.1			PLUMBING PLAN	E0.0			SCHEDULES, NOTES AND DETAILS
C1.01	1	6/25/24	EXISTING CONDITIONS AND DEMOLITION PLAN	A1.1	1	6/25/24	FLOOR PLAN - PROPOSED					M1.1			HVAC DEMO PLAN					E2.1			LIGHTING PLAN
C2.01	1	6/25/24	SITE LAYOUT PLAN	A4.1	1	6/25/24	EXTERIOR ELEVATIONS					M1.2			NEW HVAC PLAN					E3.1			POWER PLAN
C3.01	1	6/25/24	SITE GRADING AND DRAINAGE PLAN	A7.1	1	6/25/24	MILLWORK ELEVATIONS																
C4.01	1	6/25/24	CIVIL DETAILS	A7.2			MILLWORK SECTIONS																

CODE ANALYSIS SUMMARY

<p>APPLICABLE CODES/REGULATIONS:</p> <ul style="list-style-type: none"> 2018 International Building Code 2012 International Energy Conservation Code 2018 International Fuel Gas Code 2018 International Mechanical Code 2018 International Plumbing Code National Electric Code, 2017 Edition 2018 International Fire Code 2012 NFPA 101 Life Safety Plan ICC / ANSI A117.1 Accessible & Usable Buildings & Facilities, 2009 Edition 2010 ADA Standards for Accessible Design 	<p>TYPE OF CONSTRUCTION (IBC CH 6):</p> <ul style="list-style-type: none"> Type II-B, Non-Sprinklered <p>OCCUPANCY GROUP (IBC CH 3):</p> <p>Single-Occupancy, One Story Building - IBC 508.3 - Nonseparated</p> <ul style="list-style-type: none"> Business Group (B) <p>NUMBER OF STORIES (IBC TABLE 504.4):</p> <p>Allowed: 3 stories Proposed: 1 stories</p>	<p>BUILDING HEIGHT (IBC TABLE 504.3):</p> <p>Allowed: 75'-0" Proposed: EXISTING</p> <p>OCCUPANT LOAD (IBC CH 10):</p> <p>Total Occupant Load: 49 People Building Area (Net) = 4,900 sf</p> <p>FIRE AREA DIVISION:</p> <p>IBC 508.3.3 - No separation is required between nonseparated occupancies.</p>	<p>MEANS OF EGRESS:</p> <p>IBC SECTION 1005.3.2 - EGRESS COMPONENT CAPACITY</p> <ul style="list-style-type: none"> STAIRWAYS- 0.3" PER OCCUPANT, MINIMUM WIDTH 44" OTHER EGRESS COMPONENTS - 0.2" PER OCCUPANT, MINIMUM WIDTH 44", MINIMUM DOOR CLEARANCE 32" <p>IBC SECTION 1010.1.2.1 - EGRESS DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PEOPLE.</p>	<p>REQ'D # OF EXITS (IBC SECTION 1006):</p> <p>Required: 2 Exits Proposed: 3 Exits</p> <p>CORRIDORS:</p> <p>IBC 1020.1 - CORRIDORS SHALL BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH TABLE 1020.1. A-3 OCCUPANCY WITH SPRINKLER SYSTEM = 0 RATED REQUIRED.</p> <p>IBC TABLE 1018.2 - CORRIDOR WIDTH - MINIMUM OF 44"</p>	<p>EXIT OR EXIT ACCESS FROM SPACES:</p> <p>IBC SECTION 1006.2.1 - TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE ONE OF THE FOLLOWING CONDITIONS EXIST: 1) THE OCCUPANT LOAD EXCEEDS THE SPACES IN TABLE 1006.2.1 (A-3 = 49 OCCUPANTS; 2) THE COMMON PATH OF EGRESS TRAVEL EXCEEDS THE LIMITATIONS OF TABLE 1006.2.1 (75 FT) OR 3) WHERE REQUIRED IN SECTION 1006.2.2.</p> <p>TRAVEL DISTANCE:</p> <p>IBC TABLE 1017.2 - EXIT ACCESS TRAVEL DISTANCE: SHALL NOT EXCEED 250 FT IN AN A OCCUPANCY WITH SPRINKLER SYSTEM.</p>	<p>LIVE LOADS:</p> <p>IBC SECTION 1607.8.2 - GRAB BARS, SHOWER SEATS AND DRESSING ROOM BENCH SEATS SHALL BE DESIGNED TO RESIST A SINGLE CONCENTRATED LOAD OF 250 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ON THE GRAB BAR OR SEAT SO AS TO PRODUCE THE MAXIMUM LOAD EFFECTS.</p>
---	--	---	--	--	--	--

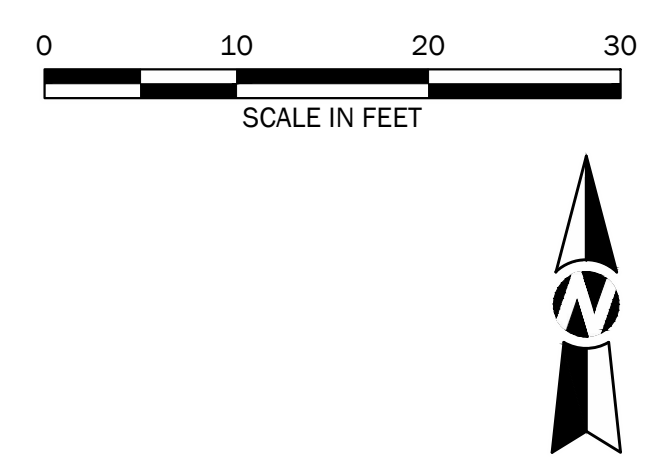
NO.	DATE	BY	DESCRIPTION
1	6/25/2024		OWNER REVISIONS

CONSULTANT
TTL
TITHEM STEPHEN BROWN
REGISTERED ENGINEER
STATE OF TENNESSEE
06/11/1992
714 N. Military Ave. Ste. 102 | Lewisburg, TN 38464
628.999.0488 | www.ttlusa.com



TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS
www.tlme.com
117 East Locust Street, 3rd Floor, Tennessee
731.988.9840 (phone) 731.988.9855 (fax)

WAYNE COUNTY HEALTH DEPARTMENT
SITE IMPROVEMENTS - PHASE 2
FOR
WAYNE COUNTY
Waynesboro, Tennessee



PROJECT BENCHMARKS	
BENCHMARK ELEV: 758.25 N: 357600.0 E: 1442601.0	BENCHMARK ELEV: 754.49 N: 357595.7 E: 1442742.7
DISTURBED AREA 0.07 ACRES (3,188 SQ. FT.) NEW IMPERVIOUS AREA 0.05 ACRES (2,298 SQ. FT.)	

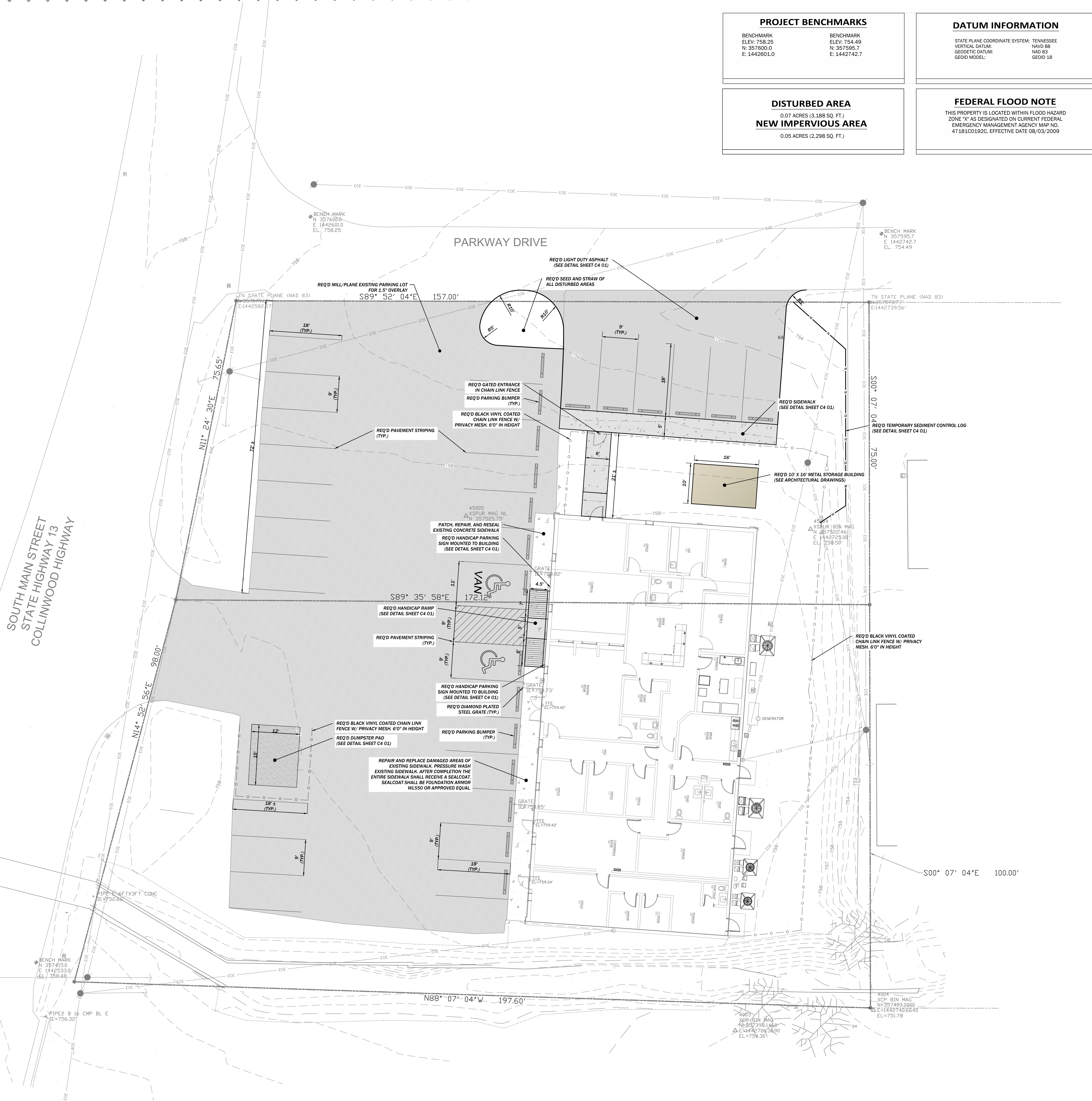
DATUM INFORMATION	
STATE PLANE COORDINATE SYSTEM: TENNESSEE VERTICAL DATUM: GEODETIC DATUM GEOID MODEL:	NAD 83 NAD 83 GEOID 18
FEDERAL FLOOD NOTE THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE "X" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47181C0192C, EFFECTIVE DATE 08/03/2009	

PAVING LEGEND	
[Symbol]	REQ'D ASPHALT PAVEMENT (LIGHT DUTY) (SEE DETAILS)
[Symbol]	REQ'D CONCRETE DUMPSTER PAD (SEE DETAILS)
[Symbol]	REQ'D CONCRETE SIDEWALK (SEE DETAILS)
[Symbol]	REQ'D MILLING/PLANING AND OVERLAY ASPHALT PAVEMENT (SEE DETAILS)
[Symbol]	REQ'D RIPRAP LINING (SEE DETAILS)
[Symbol]	REQ'D SOLID SOD

EROSION CONTROL LEGEND	
[Symbol]	APPROXIMATE LIMITS OF DISTURBANCE
[Symbol]	SEDIMENT CONTROL LOG

- PAVING, SIGNING AND STRIPING NOTES**
- ALL TEMPORARY AND/OR PERMANENT STRIPING, MARKINGS, ETC. SHALL BE OF COLOR AND TYPE SHOWN AND SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND TENNESSEE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
 - ALL PERMANENT SIGNS AND POSTS SHALL BE OF COLOR AND TYPE SHOWN AND SHALL CONFORM TO THE CITY OF WAYNESBORO REQUIREMENTS.
 - TO ACHIEVE A HIGH LEVEL OF FINISH TO THEIR SIDEWALK, THE CONTRACTOR SHALL MAKE SURE HIS MIX IS OPTIMUM AND NOT TOO DRY/WET WHICH MAY LEAD TO PITTING, CRACKING, AND TEXTURE TYPE PROBLEMS WHEN FINISHING THE CONCRETE. POORLY FINISHED CONCRETE SHALL BE REMOVED/REPLACED AT THE CONTRACTOR'S EXPENSE.
 - THE CONCRETE SIDEWALK SCORING PATTERN SHOWN SHALL BE REFERENCED WHEN POURING THE SIDEWALKS. THE LENGTH OF SCORING PATTERN SHALL MATCH THE WIDTH OF SIDEWALK. THE CONTRACTOR SHALL ACHIEVE A HIGH LEVEL OF FINISH TO THEIR SIDEWALKS.
 - CONCRETE CONTROL JOINTS SHALL BE MEASURED FOR DEPTH. THEY MUST BE INSTALLED PROPERLY FOR CONTROL CRACKING OF THE CONCRETE PAVEMENT. IMPROPERLY INSTALLED CONCRETE SHALL BE REMOVED/REPLACED AT THE CONTRACTOR'S EXPENSE.
 - ALL TEMPORARY STRIPING DURING CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. TEMPORARY STRIPING SHALL BE REQUIRED TO CLEARLY DELINEATE WHERE TRAFFIC, BOTH PEDESTRIAN AND MOTOR VEHICLES, KNOW HOW TO NAVIGATE THE WORK AREA. DURING PAVEMENT CURING TEMPORARY STRIPING SHALL BE APPLIED FOR TRAFFIC CONTROL.
 - THE FINAL PAVEMENT FINISH IS VERY IMPORTANT FOR THE PROJECT AND THE OWNER. THE CONTRACTOR SHALL MAKE ALL PAVEMENT ARE FINISHED OUT SMOOTHLY AND CLEANLY. IRREGULARITIES, "BIRD BATHS", RANDOM CRACKING, ETC. SHALL BE REMOVED/REPLACED AT THE CONTRACTOR'S EXPENSE.

- EROSION CONTROL NOTES**
- THE CONTRACTOR SHALL CONDUCT OPERATIONS IN A MANNER THAT WILL MINIMIZE EROSION AND PREVENT DAMAGING SILTATION FROM ENTERING WATER COURSES LEADING FROM THE WORKSITE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR USING BEST MANAGEMENT PRACTICES (BMPs) FOR EROSION AND SEDIMENT CONTROL THROUGHOUT CONSTRUCTION. AN EROSION CONTROL PLAN IS PROVIDED AS A MINIMUM GUIDE FOR PROVIDING STRUCTURAL BMPs, PHASING, TEMPORARY GRASSING, AND OTHER METHODS AS PROVIDED IN THE TENNESSEE SEDIMENT AND EROSION CONTROL HANDBOOK. SHALL BE UTILIZED TO MINIMIZE EROSION. NO EXTRA COMPENSATION SHALL BE GIVEN TO THE CONTRACTOR FOR MAINTAINING EROSION CONTROL ITEMS OR ADDITIONAL EROSION CONTROL ITEMS REQUIRED TO COMPLY WITH THE NPDES PERMIT.
 - ALL EPSC DEVICES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND A GOOD STAND OF GRASS HAS BEEN ESTABLISHED.
 - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES AND, IF NECESSARY, REPLACING POORLY FUNCTIONING MEASURES AT NO ADDITIONAL COST TO THE PROJECT.
 - ANY FINES INCURRED DUE TO FAILURE TO MAINTAIN EROSION CONTROL MEASURES SHALL BE PAID FOR BY THE CONTRACTOR. ANY ADDITIONAL WORK AND MATERIALS REQUIRED TO COMPLY WITH ANY VIOLATIONS SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - THE PROJECT AREA SHALL REMAIN CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO KEEP THE PROJECT AREA CLEAN INCLUDING MOTORIZED STREET SWEEPERS, WATER AND VACUUM TRUCKS, HAND SWEEPING AND SHOVELING, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADDRESS THIS ISSUE EACH DAY INCLUDING WEEKENDS AND SPECIFICALLY PRE AND POST RAIN EVENTS.
 - ALL DISTURBED AREAS INCLUDING THE EARTHEN STOCKPILES SHALL BE SEEDED AND MULCHED UPON COMPLETION OF GRADING OPERATIONS. TDEC REGULATIONS REQUIRE ALL DISTURBED AREAS NOT UNDERGOING ACTIVE DISTURBANCE OR ACTIVE CONSTRUCTION FOR LONGER THAN FOURTEEN (14) DAYS TO BE MULCHED AND SEEDED TO ESTABLISH TEMPORARY VEGETATIVE COVER. DISTURBED AREAS SHALL BE SEEDED AND STRAWED WITHIN FOURTEEN (14) DAYS OF FINAL GRADING.
 - THE CONTRACTOR SHALL INSTALL STONE AND/OR STABILIZE ROADWAY, SIDEWALK, DRIVE, ETC. IN AREAS OF CONSTRUCTION AS NECESSARY. ALL STONES FOR CONSTRUCTION ARE CONSIDERED INCIDENTAL REGARDLESS THE NUMBER OF TIMES FRESH STONE IS REQUIRED FOR EROSION CONTROL MEASURES.
 - WHEN INSTALLING SEDIMENT CONTROL LOGS THE CONTRACTOR SHALL PROPERLY PLAN THE LOCATION OF THE LOGS, WASTEFUL AND/OR POORLY PLANNED INSTALLATIONS SHALL NOT RECEIVE ADDITIONAL PAY FOR REINSTALLATION AFTER MOVING TO ANOTHER PHASE OF THE WORK. SEDIMENT CONTROL LOG LOCATION ON PLANS IS APPROXIMATE AND SHOWN FOR PLAN CLARITY. CONTRACTOR TO USE BEST MANAGEMENT PRACTICES AND PROPERLY PLAN AND INSTALL LOCATION OF SEDIMENT CONTROL LOGS AND OTHER EPSC CONTROL DEVICES.
 - ANY FINES AND LEGAL FEES ASSOCIATED WITH THE CONTRACTOR'S FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL MEASURES SHALL BE PAID FOR BY THE CONTRACTOR INCLUDING ANY ADDITIONAL REQUIREMENTS PLACED ON THE PROJECT BY THE FINING AGENCY. THERE SHALL BE NO CLAIMS CONSIDERED OF LOST CONTRACT TIME, MONEY, ETC. DURING THE STOP WORK PERIOD. THIS IS A SITUATION TOTALLY IN THE CONTROL OF THE CONTRACTOR AND HE WILL MEET HIS RESPONSIBILITIES TO MAINTAIN A STABILIZED CONSTRUCTION SITE.
 - ALL SLOPES 3:1 (HV) OR GREATER SHALL BE STABILIZED USING EROSION CONTROL MATTING. SEE FINAL EPSC SHEET FOR LOCATION AND PRODUCT SPECIFICATIONS.
 - RESEEDING MUST BE DONE WITH AN ANNUAL OR PERENNIAL COVER CROP ACCOMPANIED BY PLACEMENT OF STRAW MULCH OR ITS EQUIVALENT OF SUFFICIENT COVERAGE TO CONTROL EROSION UNTIL SUCH TIME AS THE COVER CROP IS ESTABLISHED OVER 90 PERCENT OF THE SEEDED AREA.
 - REMOVAL OF DEBRIS AND TRASH ARE THE RESPONSIBILITY OF THE CONTRACTOR. AT THE CONTRACTOR'S EXPENSE, THE REMOVAL OF ANY MATERIALS FROM THE SITE SHALL BE PERFORMED ACCORDING TO APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
 - EQUIPMENT FILLING AND MAINTENANCE AREAS, IF ANY, ON THIS SITE SHALL BE CAREFULLY MONITORED SO THAT NO ILLICIT MATERIALS OF ANY KIND ARE DISCHARGED OFF THE SITE OR INTO THE GROUND. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EPSC MEASURES AROUND ANY EQUIPMENT FILLING AND MAINTENANCE AREAS TO PREVENT ILLICIT DISCHARGE.



SOUTH MAIN STREET
STATE HIGHWAY 13
COLLINWOOD HIGHWAY

SITE LAYOUT PLAN

OWNER REVISION

PROJECT BENCHMARKS	
BENCHMARK ELEV: 758.25 N: 357600.0 E: 1442601.0	BENCHMARK ELEV: 754.49 N: 357595.7 E: 1442742.7

DATUM INFORMATION	
STATE PLANE COORDINATE SYSTEM: TENNESSEE	NAD 83
VERTICAL DATUM: GEOIDETIC DATUM	NAD 83
GEOID MODEL:	GEOID 18

DISTURBED AREA	
0.07 ACRES (3,188 SQ. FT.)	
NEW IMPERVIOUS AREA	
0.05 ACRES (2,298 SQ. FT.)	

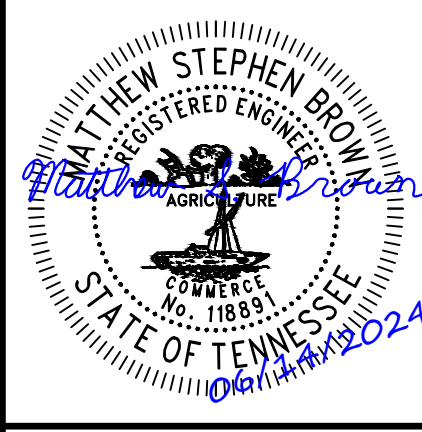
FEDERAL FLOOD NOTE	
THIS PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE "Y" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47181C0192C, EFFECTIVE DATE 08/03/2009	



REVISIONS	
NO.	DESCRIPTION
1	OWNER REVISIONS
2	
3	
4	
5	
6	
7	
8	
9	
10	

CONSULTANT

714 N. Milligan Ave. Ste. 102 | Lewisburg, TN 38664
628.999.0488 | www.tlmusa.com



TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS

www.tlma.com
117 East Locust Street | Knoxville, Tennessee
731.968.9840 (phone) | 731.968.9955 (fax)

WAYNE COUNTY HEALTH DEPARTMENT
SITE IMPROVEMENTS - PHASE 2

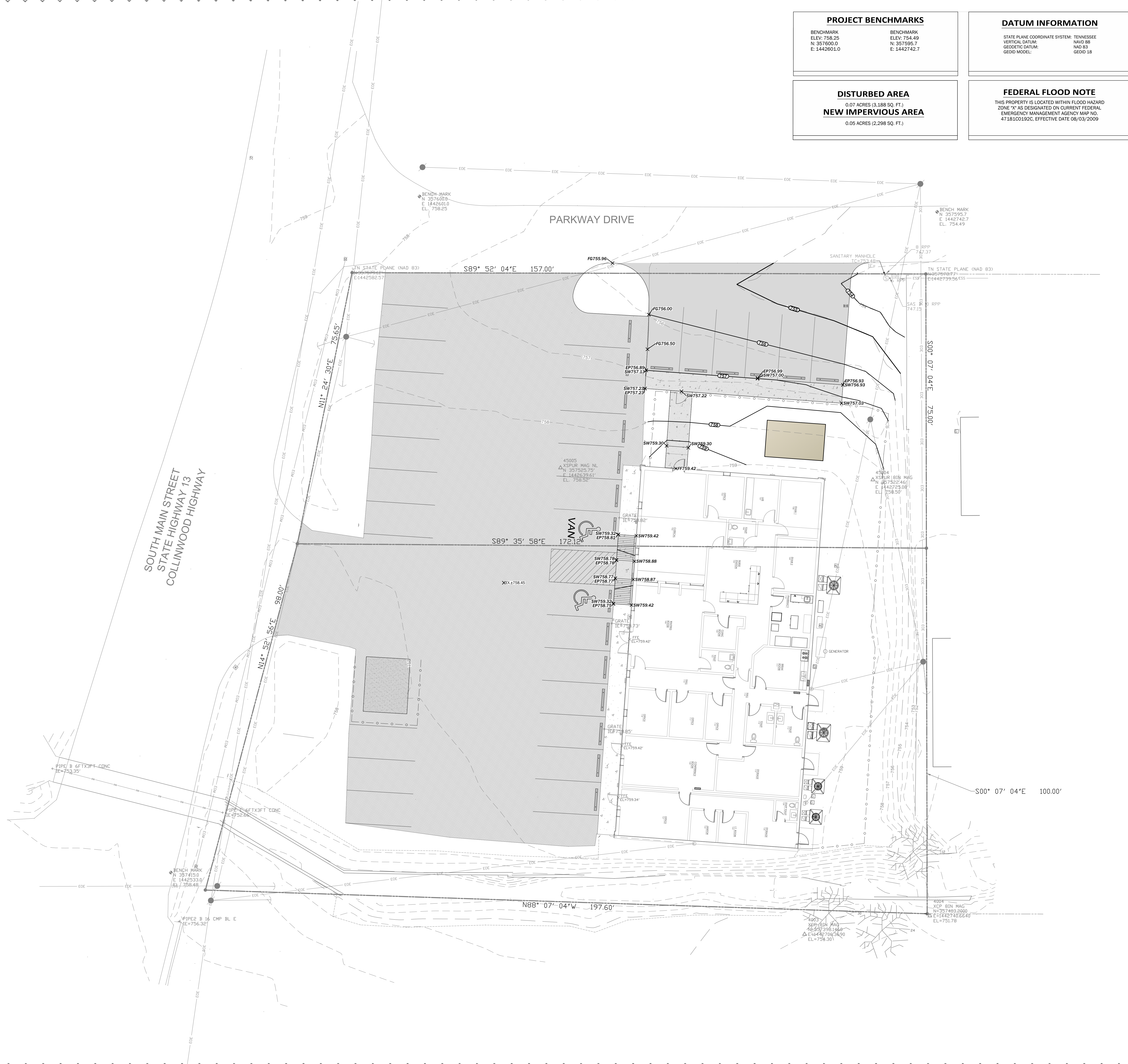
FOR
WAYNE COUNTY
Waynesboro, Tennessee

JUNE 14, 2024
J-7076

C3 01

GRADING LEGEND			
— 150	RECO CONTOUR 5' INTERVAL	REQUIRED TOP OF WALL, TOP OF CURB, FINISH GRADE	
— 149	RECO CONTOUR 1' INTERVAL	BOTTOM OF WALL, FLOWLINE & EDGE OF PAVEMENT	
*FW170.00 *FC170.00 *FG150.00			
*BW170.00 *FL150.00 *FP150.00			

- GRADING AND STAKING NOTES**
- ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 6" TOPSOIL APPLIED, BE GRASSED AND MULCHED, AND/OR SOILED AS SOON AS FINAL GRADING IS COMPLETE. REFER TO EROSION CONTROL NOTES FOR TEMPORARY GRASSING AND MULCHING DURING GRADING OPERATIONS. (SEE LANDSCAPE PLANS FOR ADDITIONAL TOPSOIL THICKNESS INFORMATION).
 - ALL EXISTING WATER VALVES, UTILITY VAULT TOPS, METER BOXES, ROADWAY SIGNS, INFORMATIONAL SIGNS, ETC. NOTED ON THE DEMOLITION PLAN SHALL BE REMOVED, STOCKPILED IN A SECURE LOCATION, AND/OR RESET AS PER THE CONTRACT DOCUMENTS.
 - THE CONTRACTOR SHALL NOTE CHANGE IN GRADES AND REQUIRED RAMPS WHEN LAYING OUT SCORING AND HANDICAP RAMPS. ALL ADA ACCESSIBLE RAMP GRADES AND SIDEWALK CROSS-SLOPE SHALL MEET ADA REQUIREMENTS.
 - GRADING OPERATIONS SHALL INCLUDE TOPSOIL STRIPPING AND REMOVAL THROUGHOUT THE PROJECT SITE, UNCLASSIFIED EXCAVATION, ROCK REMOVAL, ETC. TO BRING THE SITE TO FINISHED SUBGRADE (ONLY LEAVING PAVEMENTS AND TOPSOIL TO REACH FINAL FINISHED GRADE) AS SHOWN ON THE CONSTRUCTION PLANS. NO EXTRA PAYMENT WILL BE MADE FOR EXCESS MATERIAL BROUGHT ON-SITE, MATERIAL REQUIRED TO BE MOVED MULTIPLE TIMES BECAUSE OF CONSTRUCTION PHASING, OR EXCESS MATERIAL TO BE REMOVED FROM THE SITE UPON GRADING COMPLETION.
 - THERE SHALL BE NO DEBRIS (ROOTS, ROCKS, ETC.) IN THE TOPSOIL LARGER THAN 3" IN DIAMETER. THERE ALSO SHALL BE NO WASTED TEMPORARY GRAVEL, CONCRETE, OR ANY OTHER BUILDING MATERIALS FOUND IN THE TOPSOIL. ANY FOUND DEBRIS SHALL BE REMOVED IMMEDIATELY.
 - PAYMENT FOR DISPOSAL OF UNSUITABLE MATERIAL "IF ENCOUNTERED" SHALL BE MADE PER THE BID FORM.
 - THERE SHALL BE NO RAISED ASPHALT "LIP" AT RAMP LOCATIONS. THE EXISTING ROADWAY BUILDUP SHALL BE PLANED/MILLED SUFFICIENTLY TO ALLOW THE FINAL ASPHALT OVERLAY OR WEARING SURFACE TO HAVE FIT FLUSH AGAINST THE EDGE OF GUTTER AT RAMP LOCATIONS AND TO HAVE A 1/2" "LIP" AT ALL OTHER LOCATIONS FOR THE ENTIRE PROJECT.



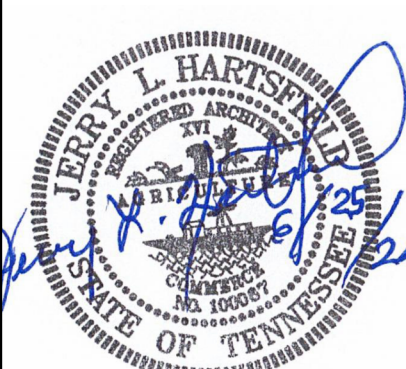
OWNER REVISION

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	02/27/24		PER ADDRESS/DRAWING 2

CONSULTANT

www.tlme.com
117 East Leflore Street, Memphis, Tennessee
731.988.9840 (phone) - 731.988.9952 (fax)



TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS

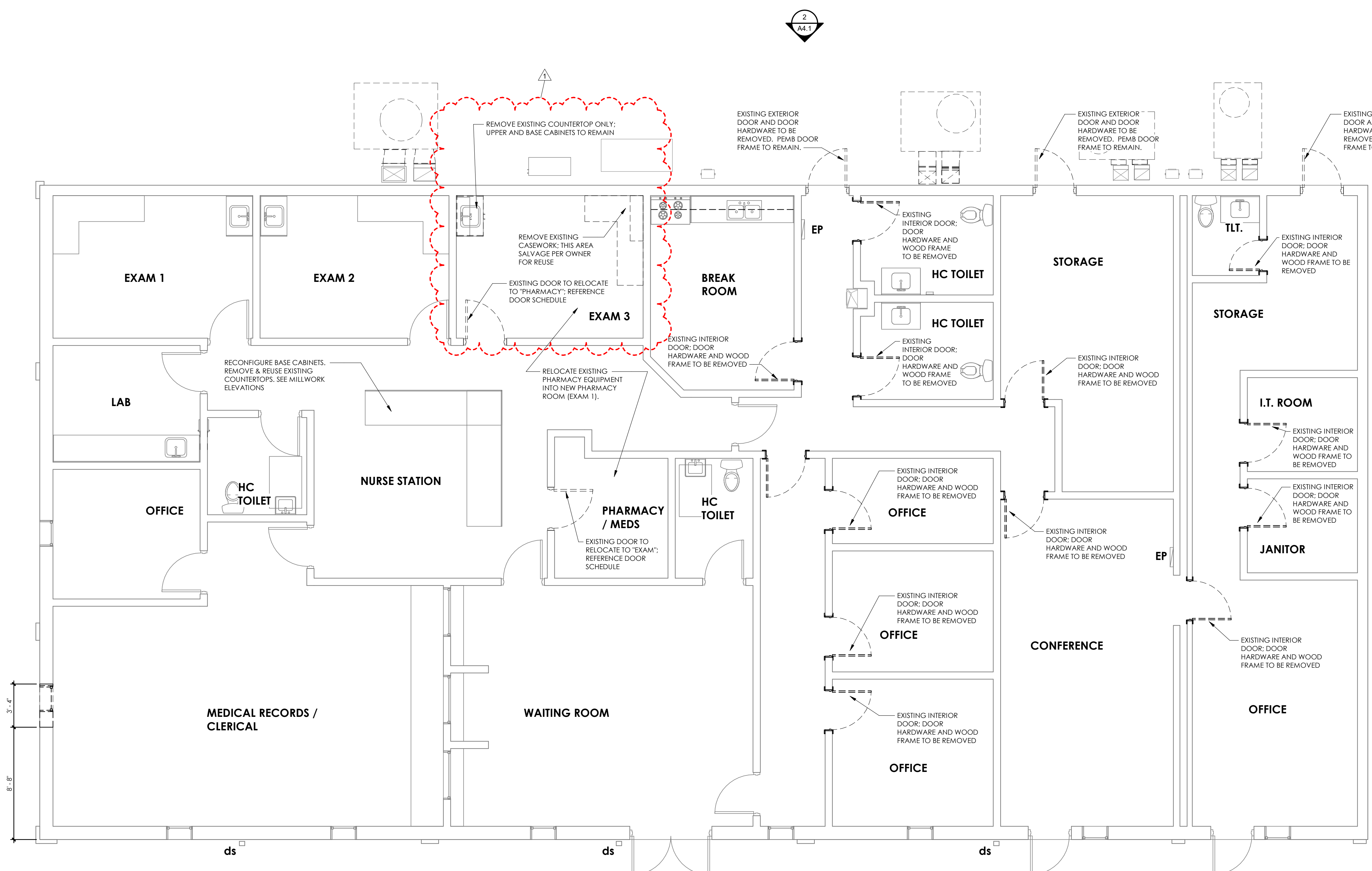
FLOOR PLAN - EXISTING
WAYNE COUNTY HEALTH DEPARTMENT
SITE / INTERIOR RENOVATION
FOR
WAYNE COUNTY
Waynesboro, Tennessee

MAY 30, 2024
J-7076

A1.0

General Notes

- CONTRACTOR SHALL THOROUGHLY FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH WORK.
- EXISTING BUILDING INFORMATION AND RECORD DOCUMENTS WERE NOT AVAILABLE FOR THIS FACILITY. ALL INFORMATION SHOWN HEREIN, RELATED TO EXISTING CONDITIONS, WAS BASED ONLY UPON LIMITED VISUAL OBSERVATION. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS, AND REPORT ANY AND ALL DISCREPANCIES, AS ENCOUNTERED, TO THE DESIGNER PRIOR TO PROCEEDING WITH WORK.
- ELEMENTS THAT ARE NOT INDICATED AS "EXISTING" ARE TO BE PROVIDED AS NEW ELEMENTS (UNLESS SPECIFICALLY NOTED OTHERWISE). ELEMENTS THAT ARE EXISTING ARE NOTED "EXISTING" OR "EXIST".
- PROTECT EXISTING SURFACES AND FEATURES FROM DAMAGE DURING THE WORK. REPAIR, REPLACE, AND/OR RE-FINISH (AS APPLICABLE) ANY EXISTING SURFACES AND FEATURES DAMAGED AS A RESULT OF THE WORK.
- DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL NOTIFY THE DESIGNER FOR CLARIFICATION, SHOULD QUESTIONS ARISE REGARDING DIMENSIONS.
- PROVIDE AND MAINTAIN TEMPORARY BARRIERS AS REQUIRED TO IDENTIFY AND SECURE THE WORK AREA FROM THE GENERAL PUBLIC AND ADJACENT OCCUPANTS. MAINTAIN REQUIRED EGRESS AND EMERGENCY ROUTES, WITHIN AND AROUND THE WORK AREA. NOTIFY AND SCHEDULE WITH LOCAL OFFICIALS 48 HOURS IN ADVANCE OF ANY NECESSARY INTERRUPTIONS.
- REFER TO STRUCTURAL FOR OTHER INFORMATION NOT INDICATED IN ARCHITECTURAL DRAWINGS, INCLUDING (AS APPLICABLE) ALL LOAD-BEARING AND SHEAR WALL LOCATIONS; IF APPLICABLE.
- REFER TO PLUMBING DRAWINGS FOR FLOOR DRAIN LOCATIONS. SLOPE SLAB TO DRAIN 1% MIN; 2% MAX.
- VERIFY ALL EQUIPMENT, DUCT, LOUVER, AND OTHER OPENING LOCATIONS & SIZES, IN WALLS & ROOF, WITH MP&E DRAWINGS.
- PROVIDE WOOD BLOCKING IN WALLS FOR ALL DOOR STOPS, CABINETS, FIXTURES, AND OTHER WALL MOUNTED ELEMENTS.
- AT ALL DRYWALL PARTITIONS, PROVIDE CONTROL JOINTS @ 20 FT. O.C. MAX., OR AS NOTED. CONTROL JOINTS TO BE PAINTED TO MATCH WALL COLOR.
- LOOSE FURNISHINGS AND APPLIANCES ARE PROVIDED BY OWNER, UNLESS INDICATED OTHERWISE.
- AT ALL FIRE BARRIERS /PARTITIONS, PROVIDE PAINTED STENCIL SIGNAGE ABOVE ACCESSIBLE CEILING, DENOTING THE HOURLY RATING OF THE BARRIER. STENCIL SHALL BE 2" TALL LETTERS, RED COLOR. SIGNAGE SHALL BE LOCATED ALONG BOTH SIDES OF BARRIER (WHERE ACCESSIBLE), AND SPACED 10 FT. O.C. MAX.



1
A1.0
FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0"

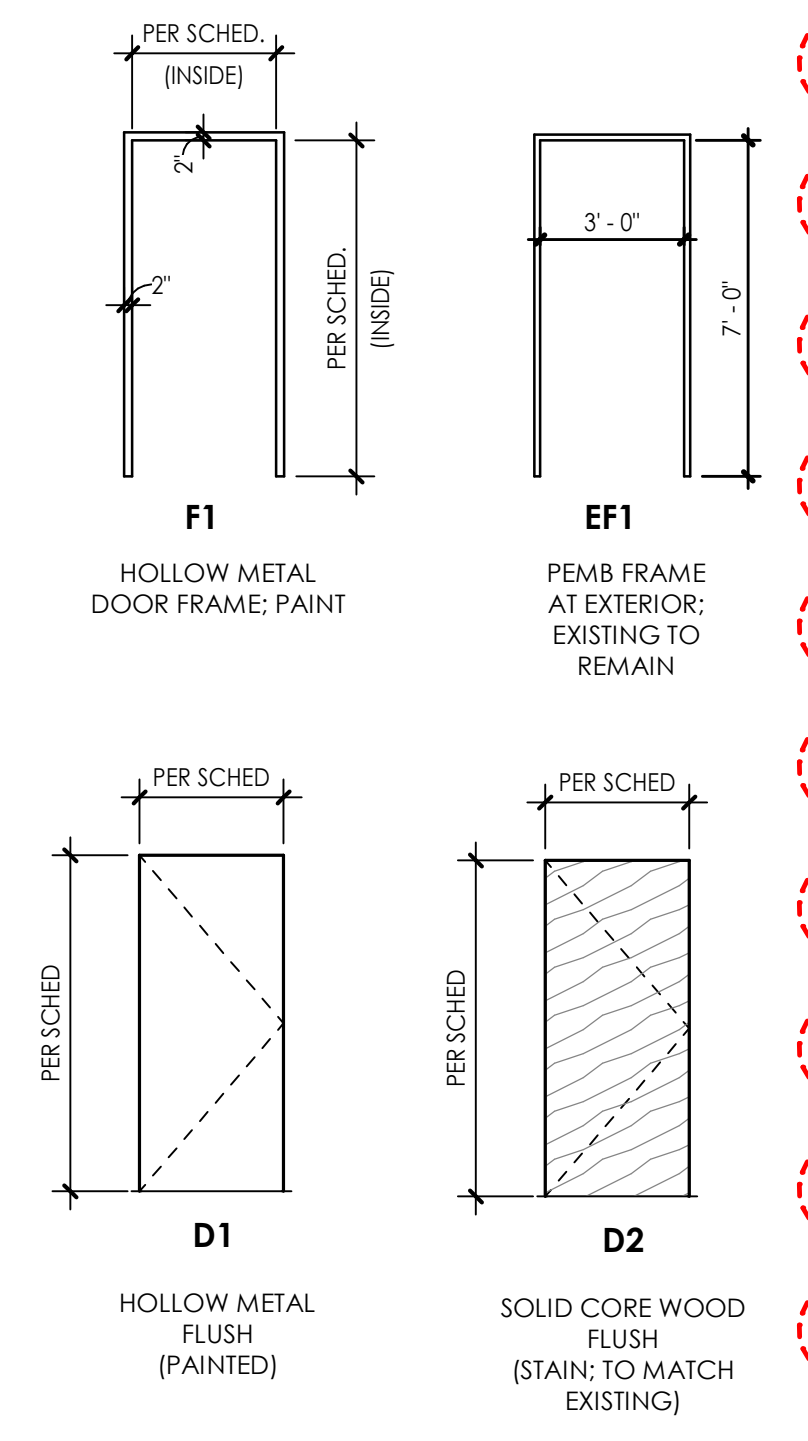
General Door Notes

- SEE SPECIFICATIONS FOR HARDWARE SCHEDULES THAT COORDINATE WITH HARDWARE SET. DESIGNATIONS IN THIS DOOR SCHEDULE, DUE TO DESIGN ITERATIONS, SOME HARDWARE SET NUMBERS LISTED IN THE SPECIFICATIONS MAY BE SKIPPED AND THIS ARE NOT APPLICABLE TO THIS PROJECT.
- SEE FLOOR PLAN FOR ALL RATED WALL LOCATIONS AND THICKNESS (IF APPLICABLE).
- ALL RATED DOORS SHALL RECEIVE RATED FRAMES & HARDWARE (IF APPLICABLE).
- APPLY SEALANT BEAD TO ALL FRAMES ON EACH SIDE.
- ALL DOOR STRIKES SHALL BE MOUNTED 36" A.F.F. UNLESS OTHERWISE NOTED. COORDINATE WITH LOCK PREF AND PANDA BAR HEIGHT.
- KEYING SHALL BE COORDINATED WITH OWNER'S GRANDMASTER KEYING SYSTEM.
- APPLY FLOOR BUMPERS WHERE APPROPRIATE: HAGER 230W (OR APPROVED EQUAL)
- PROVIDE TRIM, STRIKES, ESCUTCHEONS, ETC AS NEEDED TO COMPLETE TYPICAL INSTALLATION.
- PROVIDE KNURLED (TACTILE) SURFACE ALL AROUND LEVER HANDLES ON SPECIFIC DOORS IDENTIFIED. (NO STICK ON'S ALLOWED)
- ADJUST INTERIOR DOOR CLOSERS TO 5 LBS PULL INTERIOR PRESSURE AND 8 LBS AT EXTERIOR DOORS PER HANDICAP CODE.
- ALUMINUM GLASS DOORS: ALL HARDWARE SHALL CONFORM TO ANSI/BHMA GRADE 1, AND SHALL BE SUPPLIED BY THE DOOR MFR (INCLUDING HINGES, LOCKSETS, PANICS, TRIM, CLOSERS, WEATHER-STRIPPING, THRESHOLDS, ETC.). SEE HARDWARE SCHEDULE IN SPECIFICATIONS FOR ADDITIONAL REQUIRED HARDWARE FOR ALUMINUM GLASS DOORS.
- EXTERIOR H.M. DOORS & FRAMES SHALL BE INSULATED, GALVANIZED & FIELD PAINTED.
- REFER TO FINISH SCHEDULE, MILLWORK, AND DETAILS FOR WOOD CASING AND TRIM FINISHES.
- GLAZING IN NON-RATED DOORS, SLIDING DOORS, STORM DOORS, WITHIN 24 INCHES OF DOORS, WITHIN 18 INCHES ABOVE FINISHED FLOOR AND EXCEEDING 9 SQ. FEET WITHIN 36 INCHES OF WALKING SURFACE MUST BE SAFETY GLAZED, TEMPERED, AND PASS THE TEST REQUIREMENTS OF CPSC 16-CFR, PART 1201 AND COMPLY WITH ANSI Z97.1
- FILL ALL DRYWALL JAMBS WITH DRYWALL MUD AT FRAME ANCHOR LOCATIONS
- ALL DRYWALL FRAMES SHALL HAVE A DRYWALL THROAT 1/8" WIDER THAN WALL THICKNESS
- INTELS SHOWN ON ALL ARCHITECTURAL DRAWINGS ARE AN INDICATION THAT A INTEL EXISTS. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC INTEL REQUIREMENTS AT ALL OPENINGS.
- SEE MECHANICAL PLANS FOR DOORS REQUIRING UNDER-CUTTING FOR MECHANICAL AIRFLOW.

Specific Door Notes

- 19. PHARMACY 110 / CLINIC ROOM 104**
RELOCATE DOOR 104 (WITH ACCESS CONTROL HARDWARE TO DOOR 110. RELOCATE DOOR 110 TO DOOR 104 LOCATION.
- 20. NURSE STATION 105**
DOOR 105A - REPLACE ACCESS CONTROL HARDWARE WITH NEW ACCESS CONTROL HARDWARE - OWNER PROVIDED
- 21. CLERICAL 102 / HALL 112**
DOOR 102A / DOOR 112 - ACCESS CONTROL SYSTEM; REFERENCE SPECIFICATION SECTION 08 71 00 FOR DOOR HARDWARE SET

Door Schedule													
DOOR NO	PAIRS	SIZE			DOOR			DETAILS			REMARKS		
		WIDTH	HEIGHT	THICK.	ELEV./TYPE	FRAME	HEAD	JAMB	SILL	HWD. SET		INSUL.	
100		3'-0"	7'-0"	1 3/4"	D1	ALUM.				2"		100A	REFERENCE DOOR NOTE #21
102A		3'-0"	7'-0"	1 3/4"	D1	ALUM.						102A	REFERENCE DOOR NOTE #19
104		3'-0"	7'-0"	1 3/4"	EXISTING	EXISTING				EXISTING		105A	REFERENCE DOOR NOTE #20
105A		3'-0"	7'-0"	1 3/4"	EXISTING	EXISTING				EXISTING		110	REFERENCE DOOR NOTE #19
110		3'-0"	7'-0"	1 3/4"	EXISTING	EXISTING				EXISTING			
111		3'-0"	7'-0"	1 3/4"	D2	F1				4"		111	
112		3'-0"	7'-0"	1 3/4"	D1	EF1				2"		112	REFERENCE DOOR NOTE #21
113		3'-0"	7'-0"	1 3/4"	D2	F1				5"		113	
114		3'-0"	7'-0"	1 3/4"	D2	F1				5"		114	
115		3'-0"	7'-0"	1 3/4"	D2	F1				4"		115	
116		3'-0"	7'-0"	1 3/4"	D2	F1				4"		116	
117		3'-0"	7'-0"	1 3/4"	D2	F1				4"		117	
118		3'-0"	7'-0"	1 3/4"	D2	F1				4"		118	
119		3'-0"	7'-0"	1 3/4"	D2	F1				3"		119A	
119A		3'-0"	7'-0"	1 3/4"	D1	EF1				2"		119A	
120		3'-0"	7'-0"	1 3/4"	D2	F1				4"		120	
121		3'-0"	7'-0"	1 3/4"	D2	F1				4"		121	
122		3'-0"	7'-0"	1 3/4"	D2	F1				3"		122	
123		3'-0"	7'-0"	1 3/4"	D2	F1				3"		123	
124		2'-4"	7'-0"	1 3/4"	D2	F1				3"		124	
125		3'-0"	7'-0"	1 3/4"	D1	EF1				2"		125	
TOTAL DOORS: 21													



PRIORITY LEGEND

- PRIORITY #1 - PHARMACY UPGRADE**- REFERENCE PHARMACY LEGEND BELOW.
- PRIORITY #2 - FOUR (4) NEW HVAC UNITS** AND PROVIDE CORRECTIVE MEASURES FOR THE DUCTWORK TO SOLVE EXISTING TEMPERATURE ISSUES.
- PRIORITY #3 - STORAGE 125 @ EXTERIOR DOOR**
REPAIR ALL SHEETROCK THAT IS DAMAGED DUE TO PREVIOUS LEAKS / WATER DAMAGE
- PRIORITY #4 - WAITING ROOM 100 / FRONT ENTRY DOOR**
NEW DOOR HARDWARE WITH ADA HANDICAP ACCESSIBLE PUSH BUTTON AND KEY CARD ACCESS AT FRONT ENTRY DOOR 100; REFERENCE SPECIFICATIONS FOR HARDWARE SET
- PRIORITY #4A - NEW EXTERIOR DOORS & HARDWARE**
NEW EXTERIOR HOLLOW METAL DOOR AND NEW HOLLOW METAL DOOR FRAME AT EXTERIOR WALL; REFERENCE SPECIFICATIONS FOR DOOR HARDWARE SET AND ADDITIONAL INFORMATION.
- PRIORITY #4B - NEW EXTERIOR DOORS & HARDWARE**
NEW EXTERIOR HOLLOW METAL DOOR; EXISTING P.E.M.B. DOOR FRAME TO REMAIN; REFERENCE SPECIFICATIONS FOR DOOR HARDWARE SET AND ADDITIONAL INFORMATION.
- PRIORITY #4C - NEW INTERIOR DOORS, FRAMES & HARDWARE**
NEW INTERIOR SOLID CORE WOOD DOORS AND NEW HOLLOW METAL DOOR FRAMES; REFERENCE SPECIFICATIONS FOR DOOR HARDWARE SET AND ADDITIONAL INFORMATION.
- PRIORITY #5 - SITE**
SITE WORK TO BE COMPLETED PER CIVIL DRAWINGS; REFERENCE PRIORITY LEGEND - EXTERIOR
- PRIORITY #6 - EXTERIOR UPGRADES**
EXTERIOR WORK TO BE COMPLETED; REFERENCE PRIORITY LEGEND - EXTERIOR
- PRIORITY #7 - MILLWORK**
NEW BASE CABINET MILLWORK AT NURSE'S STATION; KEEP EXISTING PLASTIC LAMINATE COUNTERTOP AND RE-USE.
- PRIORITY #8 - FINISHES**
NEW PAINT WHERE APPLICABLE.
- PRIORITY #9 - CEILING**
NEW CEILING TILES AND GRIDS WHERE APPLICABLE.
- PRIORITY #10 - LAB**
INSTALL NEW EYE WASH AT EXISTING SINK; REFERENCE PLUMBING

IMMUNIZATION PRIORITY LEGEND

- PRIORITY #1A - RELOCATE PHARMACY TO EXAM 1 ROOM**
 - RELOCATE ALL PHARMACY EQUIPMENT INTO NEW SPACE.
 - ADD ALL NEW MILLWORK.
 - NEW PAINT THROUGHOUT

PRIORITY LEGEND - EXTERIOR

- PRIORITY #5A - SITE**
 - NEW PARKING LOT WITH HANDICAP ACCESS RAMP
 - ADDITIONAL STAFF PARKING LOT TO THE NORTH SIDE OF BUILDING WITH SIDEWALK TO BACK EMPLOYEE DOOR
 - NEW CHAIN LINK FENCE WITH MESH SCREEN
 - NEW FLAG POLE
 - NEW 10' x 16' METAL STORAGE BUILDING; REFERENCE CIVIL DRAWINGS FOR PLACEMENT LOCATION
- PRIORITY #6A - EXTERIOR UPGRADES**
 - NEW AWNING / CANOPY OVER EXTERIOR REAR DOORS
 - PATCH AND REPAIR DAMAGE (HOLE) AT FRONT EXTERIOR WALL / BRICK FACADE
 - REPAIR DAMAGED SIDEWALK; NEW GRATES; SEAL CONCRETE
- PRIORITY #11 - EXTERIOR UPGRADES**
 - NEW LAB HOLDER; FABRICATE METAL HOLDER; ANCHOR BOLT TO BRICK AND EPOXY TO SET ANCHOR BOLTS

ADD ALTERNATE NO. 1

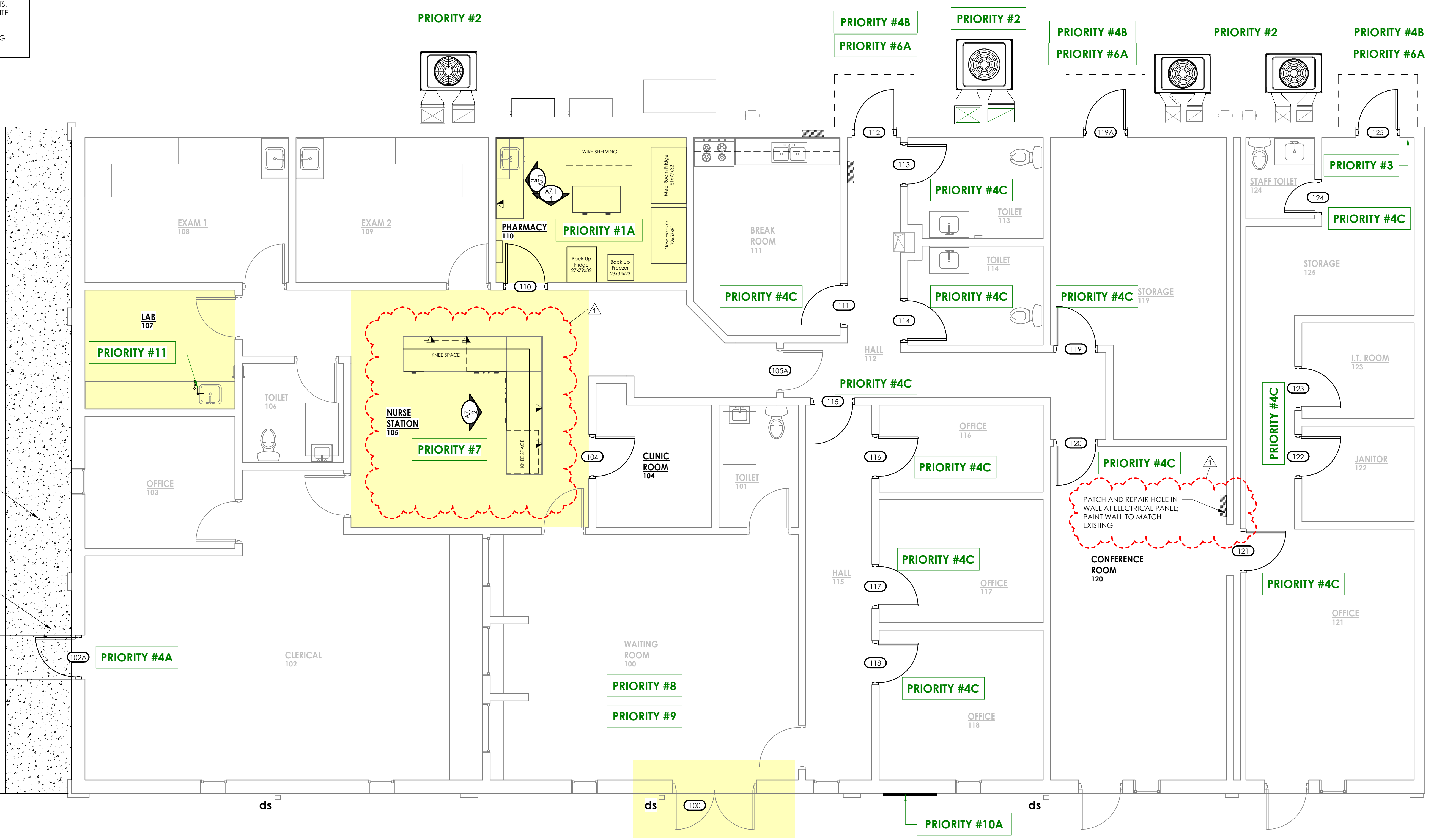
- PRIORITY #12 - LED LIGHTING**
COORDINATE WITH SHEET E2.1 FOR LED LIGHTING NOTES REPLACE EXISTING FIXTURES FOR LED LIGHT FIXTURES; LED LIGHTING IN PHARMACY 110 TO BE IN BASE BID

ADD ALTERNATE NO. 2

- PRIORITY #13 - CEILING INSULATION**
PROVIDE AND INSTALL 4" BATT INSULATION ABOVE CEILING THROUGHOUT BUILDING FOR ENERGY EFFICIENCY

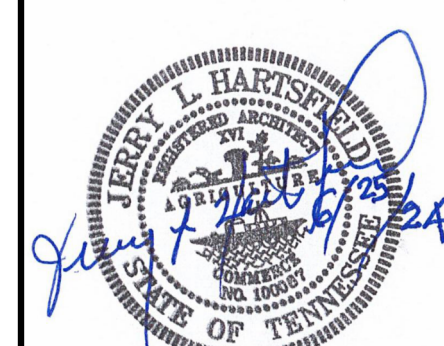
General Notes

- CONTRACTOR SHALL THOROUGHLY FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO AND DURING CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH WORK.
- EXISTING BUILDING INFORMATION AND RECORD DOCUMENTS WERE NOT AVAILABLE FOR THIS FACILITY. ALL INFORMATION SHOWN HEREIN, RELATED TO EXISTING CONDITIONS, WAS BASED ONLY UPON LIMITED VISUAL OBSERVATION. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS, AND REPORT ANY AND ALL DISCREPANCIES, AS ENCOUNTERED, TO THE DESIGNER PRIOR TO PROCEEDING WITH WORK.
- ELEMENTS THAT ARE NOT INDICATED AS "EXISTING" ARE TO BE PROVIDED AS NEW ELEMENTS (UNLESS SPECIFICALLY NOTED OTHERWISE). ELEMENTS THAT ARE EXISTING ARE NOTED "EXISTING" OR "EXIST".
- PROTECT EXISTING SURFACES AND FEATURES FROM DAMAGE DURING THE WORK. REPAIR, REPLACE, AND/OR RE-FINISH (AS APPLICABLE) ANY EXISTING SURFACES AND FEATURES DAMAGED AS A RESULT OF THE WORK.
- DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL NOTIFY THE DESIGNER FOR CLARIFICATION, SHOULD QUESTIONS ARISE REGARDING DIMENSIONS.
- PROVIDE AND MAINTAIN TEMPORARY BARRIERS AS REQUIRED TO IDENTIFY AND SECURE THE WORK AREA FROM THE GENERAL PUBLIC AND ADJACENT OCCUPANTS. MAINTAIN REQUIRED EGRESS AND EMERGENCY ROUTES, WITHIN AND AROUND THE WORK AREA. NOTIFY AND SCHEDULE WITH LOCAL OFFICIALS 48 HOURS IN ADVANCE OF ANY NECESSARY INTERRUPTIONS.
- REFER TO STRUCTURAL FOR OTHER INFORMATION NOT INDICATED IN ARCHITECTURAL DRAWINGS, INCLUDING (AS APPLICABLE) ALL LOAD-BEARING AND SHEAR WALL LOCATIONS; IF APPLICABLE.
- REFER TO PLUMBING DRAWINGS FOR FLOOR DRAIN LOCATIONS, SLOPE SLAB TO DRAIN 1/8" MIN.; 2% MAX.
- VERIFY ALL EQUIPMENT, DUCT, LOUVER, AND OTHER OPENING LOCATIONS & SIZES, IN WALLS & ROOF, WITH M.P.E. DRAWINGS.
- PROVIDE WOOD BLOCKING IN WALLS FOR ALL DOOR STOPS, CABINETS, FIXTURES, AND OTHER WALL MOUNTED ELEMENTS.
- AT ALL DRYWALL PARTITIONS, PROVIDE CONTROL JOINTS @ 20 FT. O.C. MAX., OR AS NOTED. CONTROL JOINTS TO BE PAINTED TO MATCH WALL COLOR.
- LOOSE FURNISHINGS AND APPLIANCES ARE PROVIDED BY OWNER, UNLESS INDICATED OTHERWISE.
- AT ALL FIRE BARRIERS / PARTITIONS, PROVIDE PAINTED STENCIL SIGNAGE ABOVE ACCESSIBLE CEILING, DENOTING THE HOURLY RATING OF THE BARRIER. STENCIL SHALL BE 3" TALL LETTERS, RED COLOR. SIGNAGE SHALL BE LOCATED ALONG BOTH SIDES OF BARRIER (WHERE ACCESSIBLE), AND SPACED 10 FT. O.C. MAX.



REVISIONS	
NO.	DESCRIPTION

CONSULTANT			
NO.	DATE	BY	DESCRIPTION

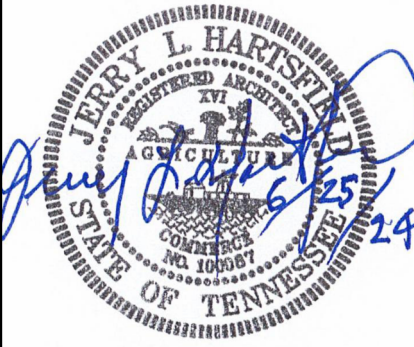


TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS
www.tlime.com
117 East Lofton Street, Memphis, Tennessee
731.988.9840 (phone) - 731.988.9252 (fax)

FLOOR PLAN - PROPOSED
WAYNE COUNTY HEALTH DEPARTMENT
SITE / INTERIOR RENOVATION
FOR
WAYNE COUNTY
Waynesboro, Tennessee

REVISIONS	
NO.	DESCRIPTION
1	PER ADDRESS CHANGE

CONSULTANT

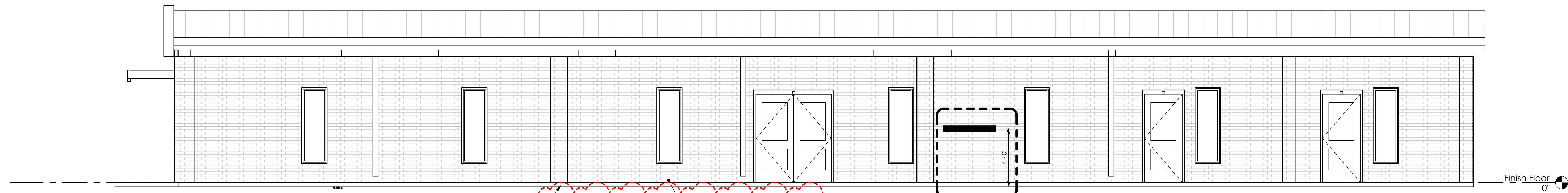


TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS
www.tlme.com
117 East Lafayette Street, Memphis, Tennessee
731.988.9840 (phone) • 731.988.9252 (fax)

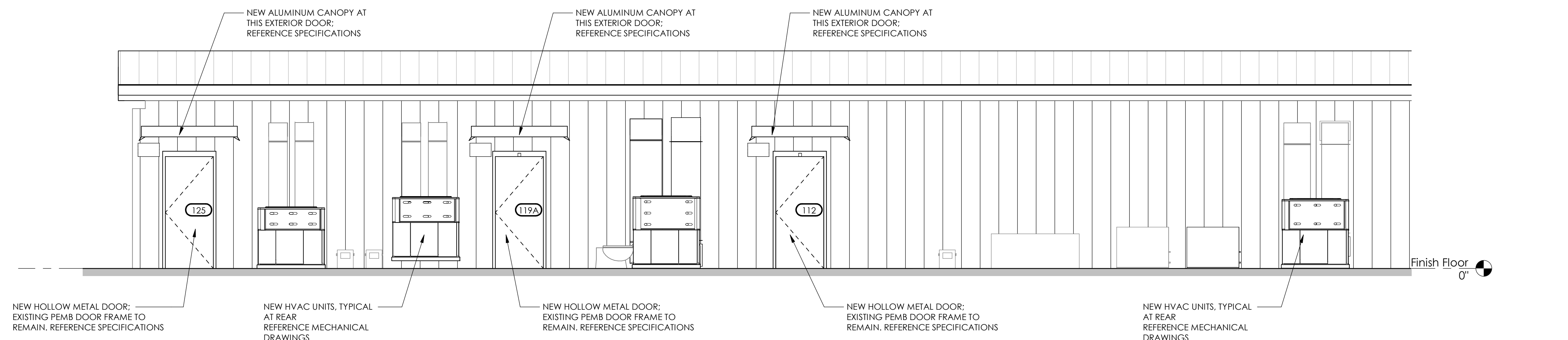
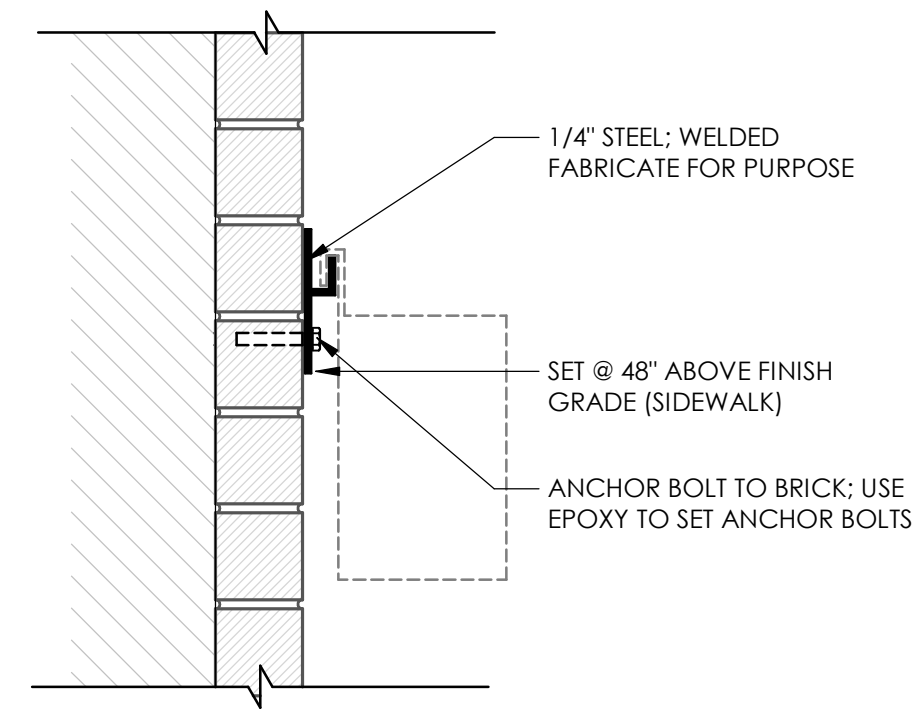
EXTERIOR ELEVATIONS
**WAYNE COUNTY HEALTH DEPARTMENT
SITE / INTERIOR RENOVATION**
FOR
WAYNE COUNTY
Waynesboro, Tennessee

MAY 30, 2024
J-7076

A4.1



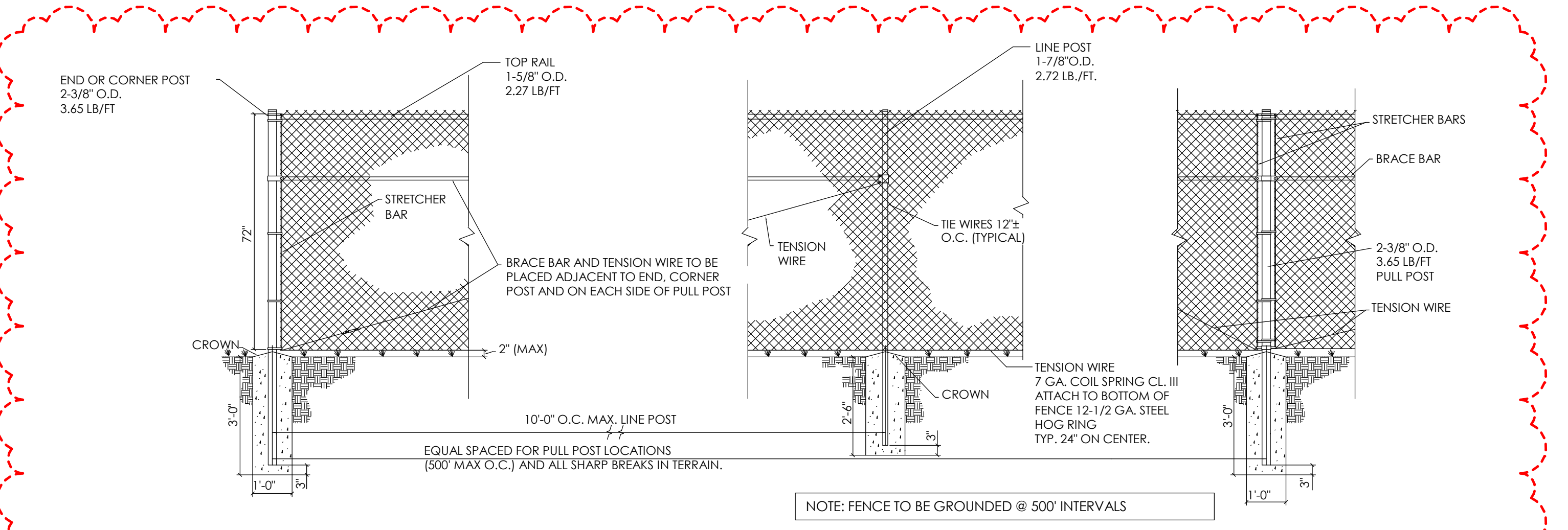
1 EXTERIOR ELEVATION - FRONT
SCALE: 1/4" = 1'-0"



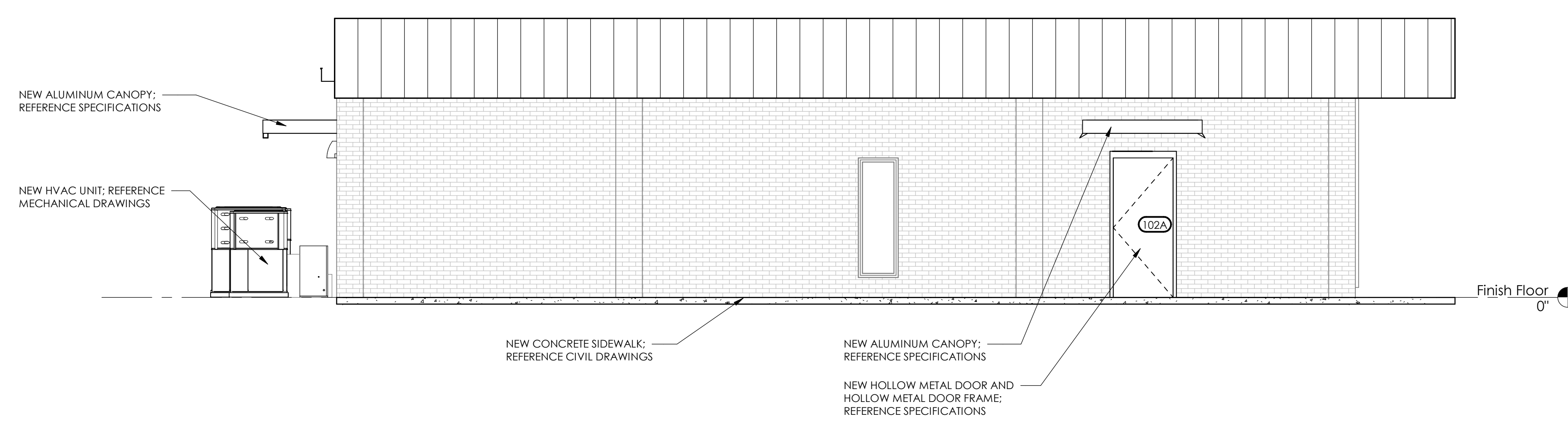
2 EXTERIOR ELEVATION - REAR
SCALE: 1/4" = 1'-0"



4 LAB BOX HOLDER
SCALE: 1 1/2" = 1'-0"



5 CHAIN FENCE DETAIL
NOT TO SCALE



3 EXTERIOR ELEVATION - SIDE
SCALE: 1/4" = 1'-0"

REVISIONS			
NO.	DATE	BY	DESCRIPTION

CONSULTANT



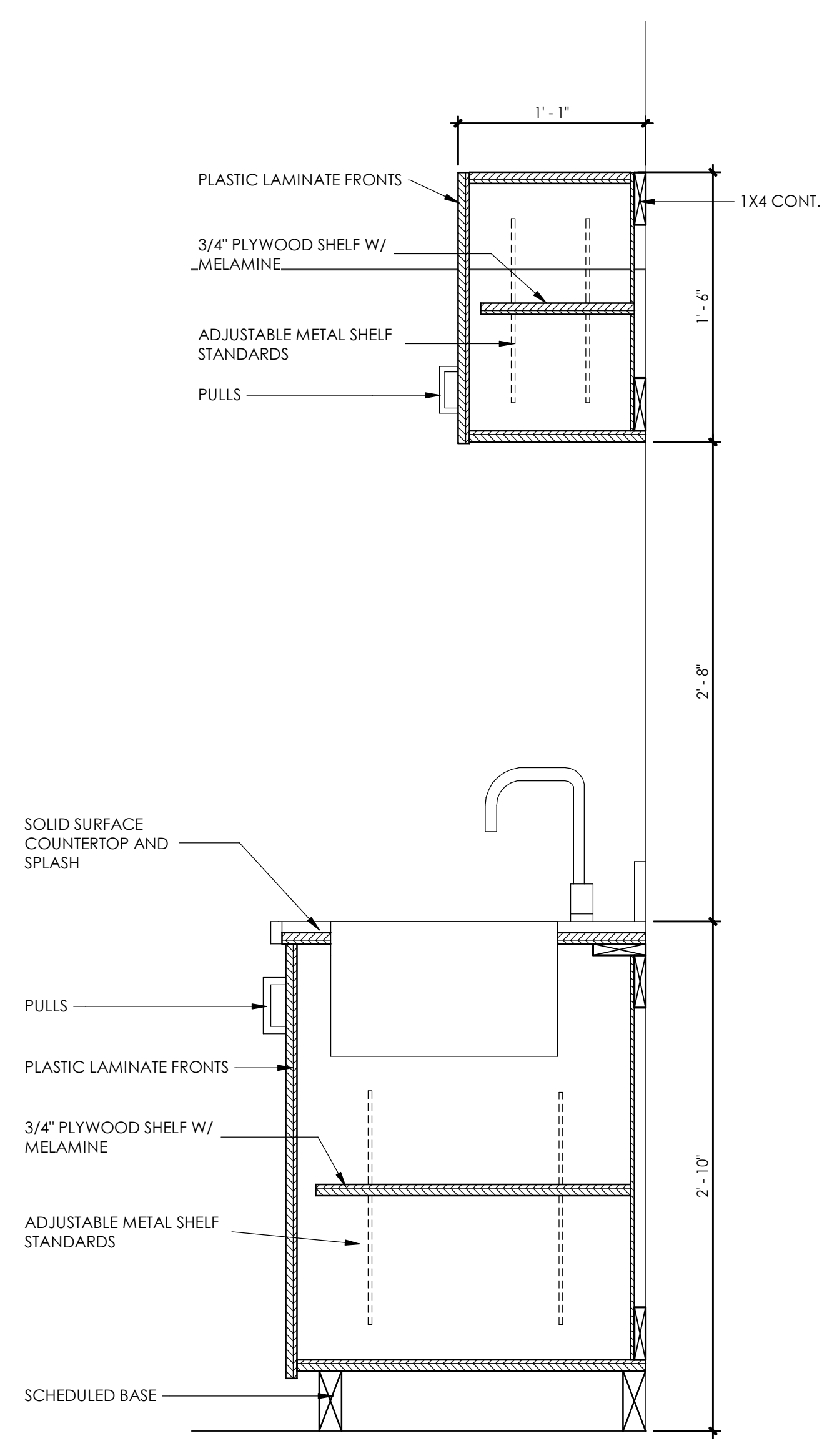
TLM ASSOCIATES, INC.
 ARCHITECTS + ENGINEERS
 www.tlme.com
 117 East Locust Street, Memphis, Tennessee
 731.988.9840 (phone) / 731.988.9252 (fax)

MILLWORK SECTIONS
WAYNE COUNTY HEALTH DEPARTMENT
 SITE / INTERIOR RENOVATION
 FOR
WAYNE COUNTY
 Waynesboro, Tennessee

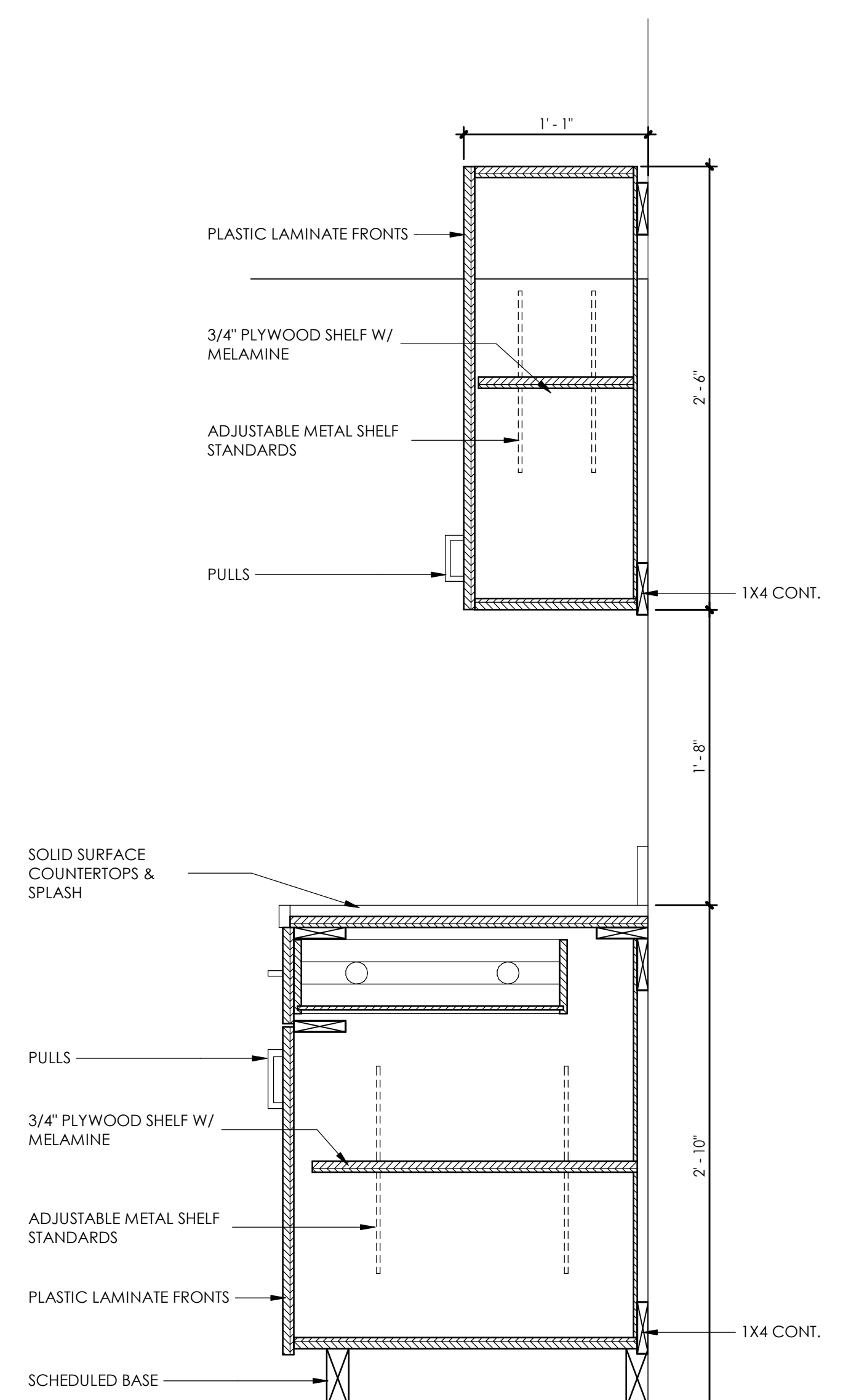
MAY 30, 2024

J-7076

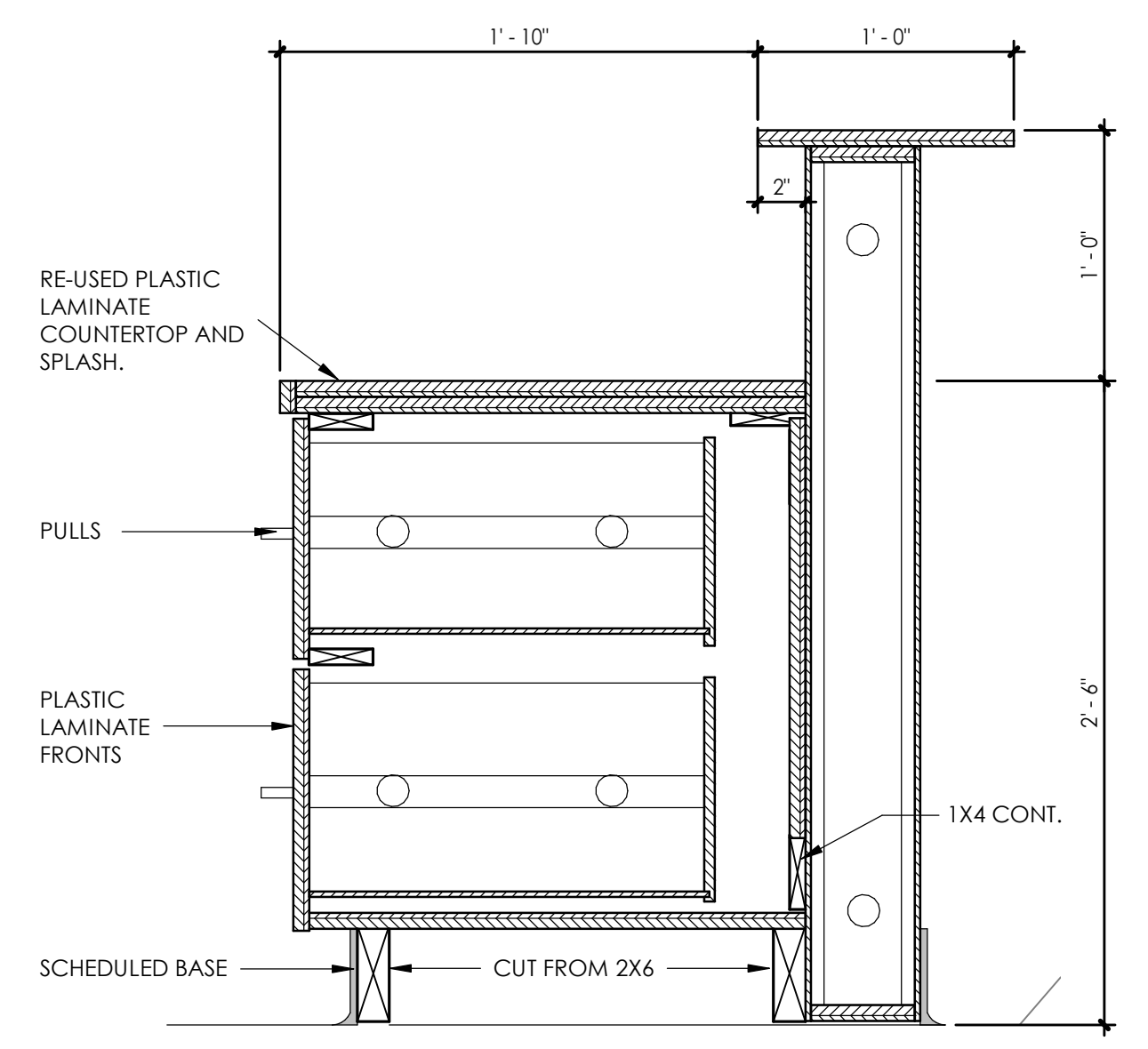
A7.2



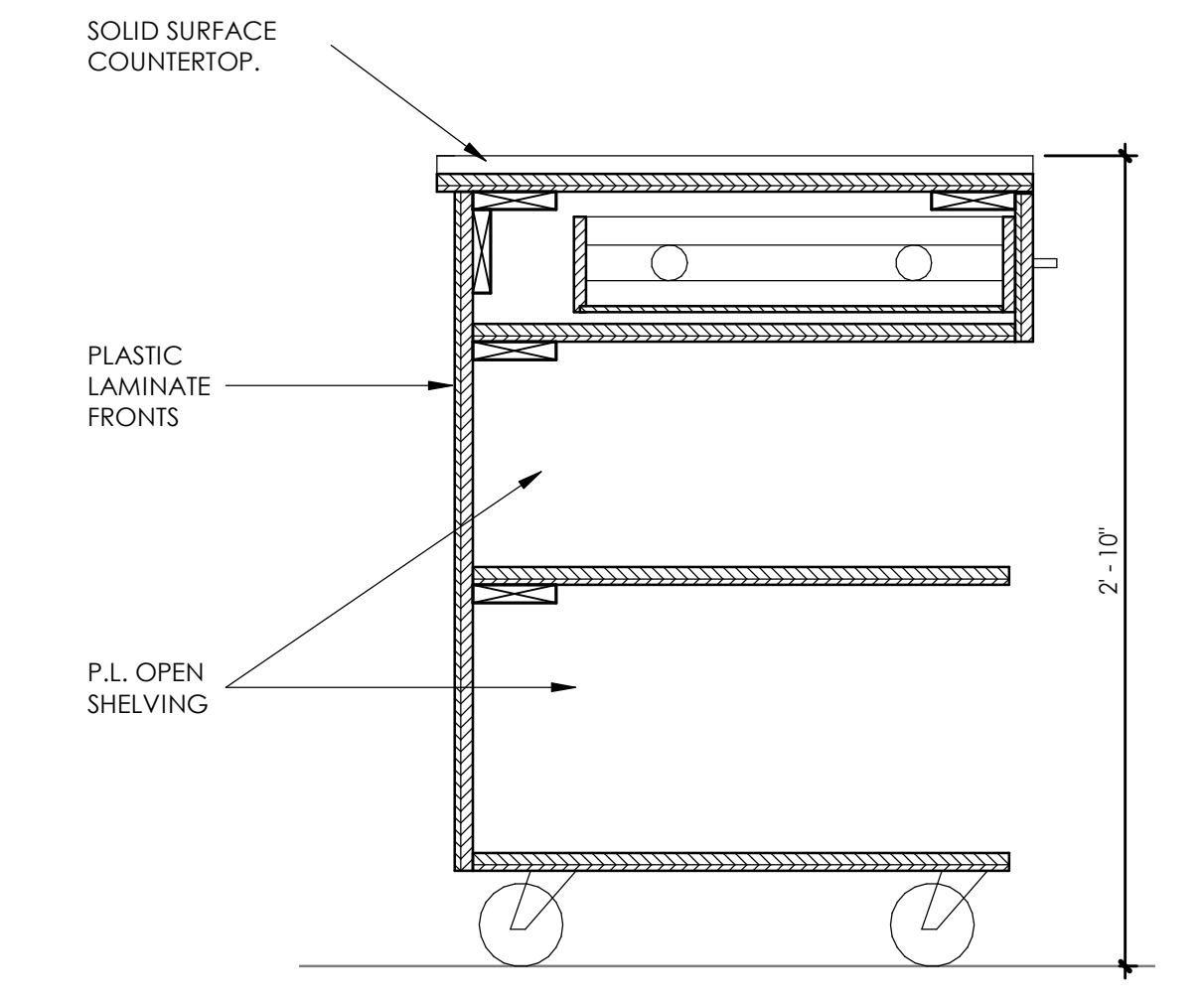
4
A7.2 **PHARMACY MILLWORK- 2B**
 SCALE: 1 1/2" = 1'-0"



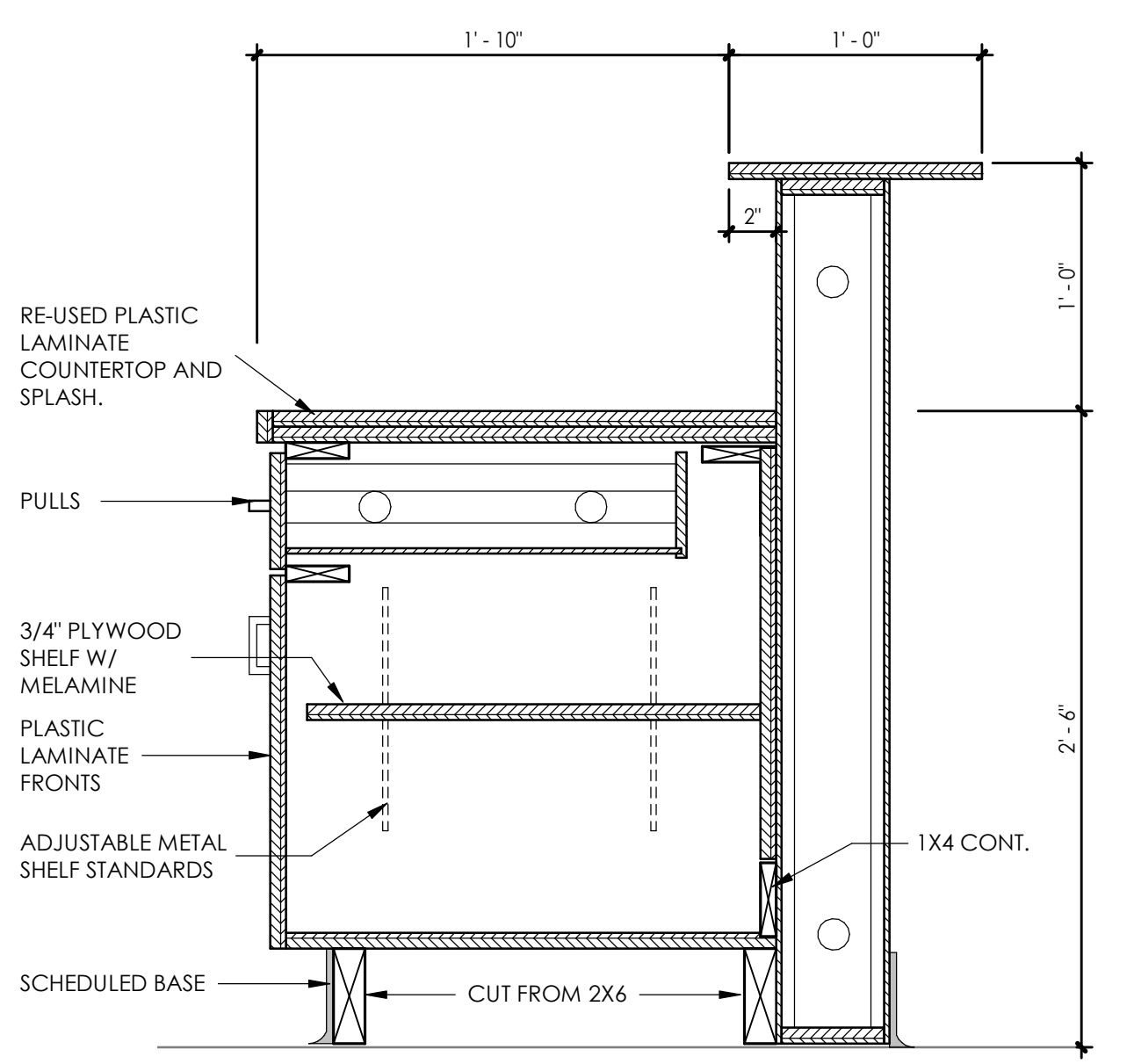
3
A7.2 **PHARMACY MILLWORK- A**
 SCALE: 1 1/2" = 1'-0"



2
A7.2 **NURSE'S STATION EAST- B**
 SCALE: 1 1/2" = 1'-0"



5
A7.2 **PHARMACY ISLAND- MOBILE**
 SCALE: 1 1/2" = 1'-0"



1
A7.2 **NURSE'S STATION EAST- A**
 SCALE: 1 1/2" = 1'-0"

